

Recitals

WHEREAS, this Amendment to Prior Declarations is made on the date hereinafter set forth by the Declarant in compliance with all voting requirements of Prior Declaration and Texas law;

WHEREAS, Pursuant to the Prior Declarations, Declarant may unilaterally amend the Prior Declarations at any time prior to the Control Transfer Date. The Control Transfer Date, as defined in the Prior Declarations, has not yet occurred. The Declarant desires to amend the Prior Declarations as more particularly set forth below:

WHEREAS, this Amendment is executed pursuant to and in compliance with the amendment requirements of the Prior Declaration; and

WHEREAS, the Declarant desires to amend the Prior Declaration to amend the minimum square foot requirement for all residences in the Subdivisions.

Amendment

The Prior Declaration is amended as follows:

1. All references to Driveways and Aprons in the Prior Declaration are replaced with the following terms and covenants:
 - a. It is the responsibility of the Owner to pay for and have constructed and maintain the Apron that connects the driveway to the street. The Apron must be an impervious surface. Owner through an approved contractor is responsible to build the Apron from back of curb and going 5 feet into the Property. The “Apron” is the roadway or structure that connects the public street to the Driveway and ties into the curb near the property line and extends 5 feet into the Property. The “Driveway” is the roadway or structure that connects the residence to the Apron.
 - b. All driveways and aprons must be approved by the Association before installation.
 - c. The Apron must be built by an approved contractor. The Association will maintain a list of approved contractors. Any contractors that want to be added onto the list must go through the Association.
 - d. Driveway and Apron must follow the specifications on the **attached Street Detail** including thickness, type of cement, stabilized sand, reinforcing steel, expansion joints and other details.
 - e. Driveway and Apron must follow the **attached Driveway Layout** as to location and design.
 - f. It is the responsibility of the Owner to pay for and have constructed and maintain the Driveway that ties into the Apron. The Driveway can be a pervious surface. Pervious materials that are allowed for a driveway: limestone base, crushed concrete, or stone pavers.

- g. Driveways must be completed at the same time as the completion of the construction of the house or installation of the Mobile Home. The integrity of the curb must be kept in good condition, damage to the curb or apron will be the responsibility of the property owner.

Except as written in this Amendment, the Prior Declaration is in all respects ratified and confirmed, and the Prior Declaration and this Amendment shall be read and construed as one and the same instrument. All terms and conditions in the Prior Declaration which is not modified by this Amendment shall remain in full force and effect and shall be interpreted to coincide with the terms and provisions of this Amendment. In the event any terms or conditions in this Amendment conflict with the terms and conditions of the Prior Declaration, the terms and conditions of this Amendment shall prevail.

DECLARANT:

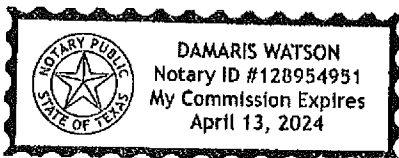
COLONY RIDGE DEVELOPMENT, LLC, a Texas limited liability company, by its Manager T-REX MANAGEMENT, INC., a Texas corporation

By: John Harris, President

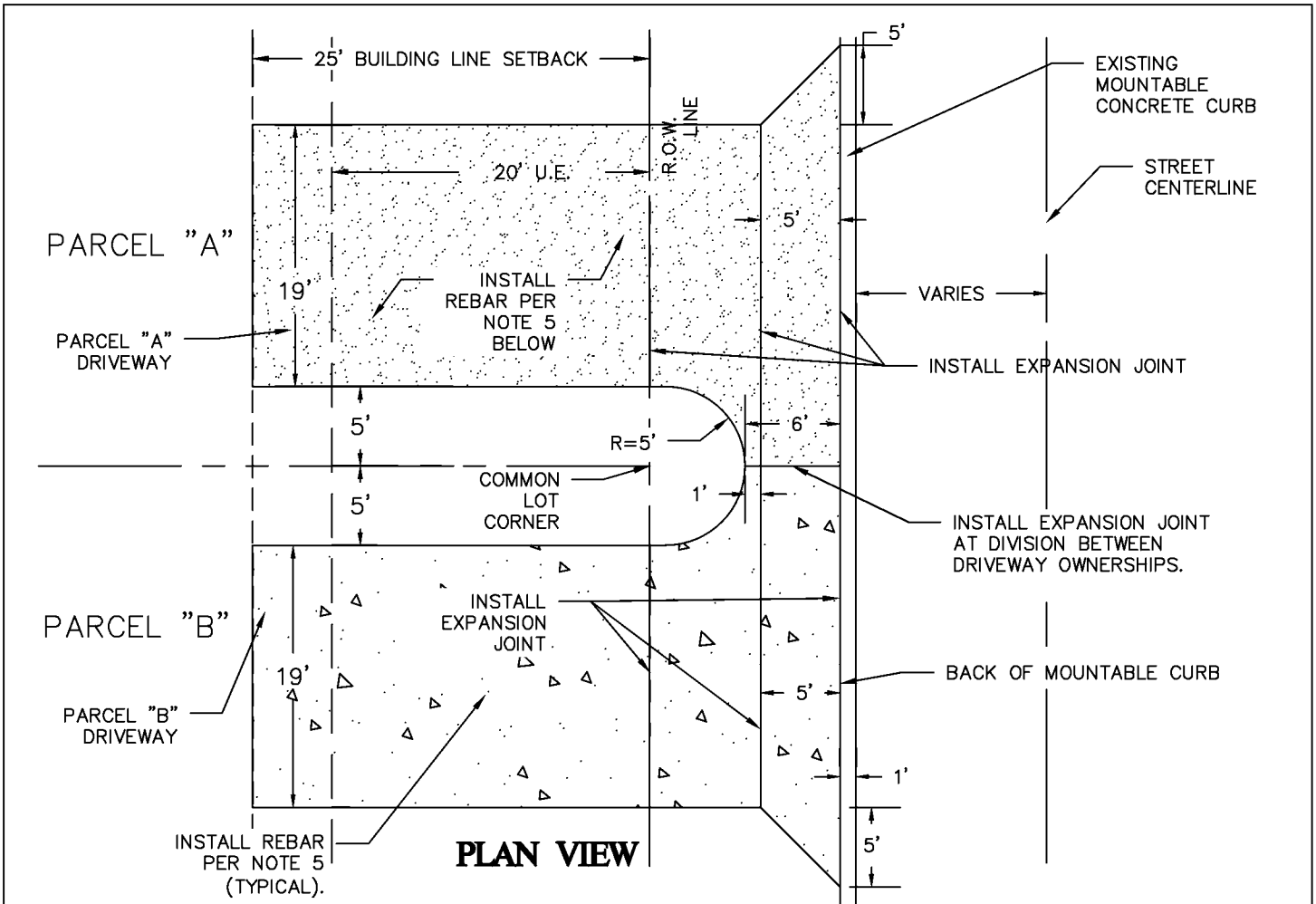
THE STATE OF TEXAS)

COUNTY OF Montgomery)

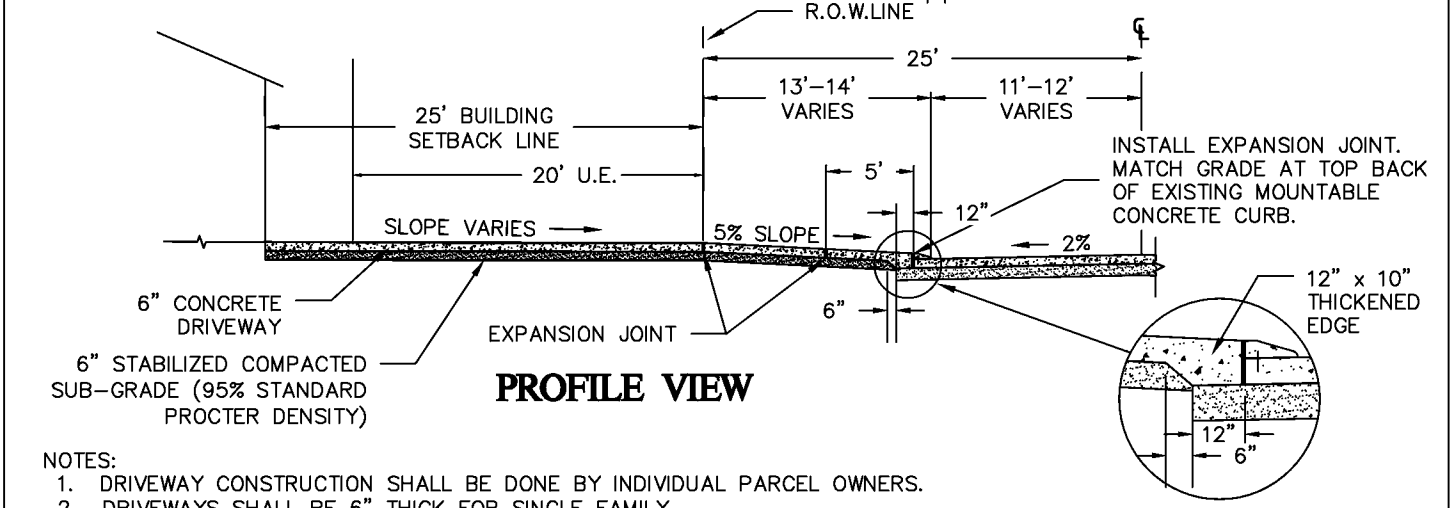
This instrument was acknowledged before me on the 9th day of March, 2024, by John Harris, President of T-REX MANAGEMENT, INC., a Texas corporation, as Manager of COLONY RIDGE DEVELOPMENT, LLC, a Texas limited liability company, on behalf of said company.



Damaris Watson
Notary Public in and for the State of Texas



PLAN VIEW

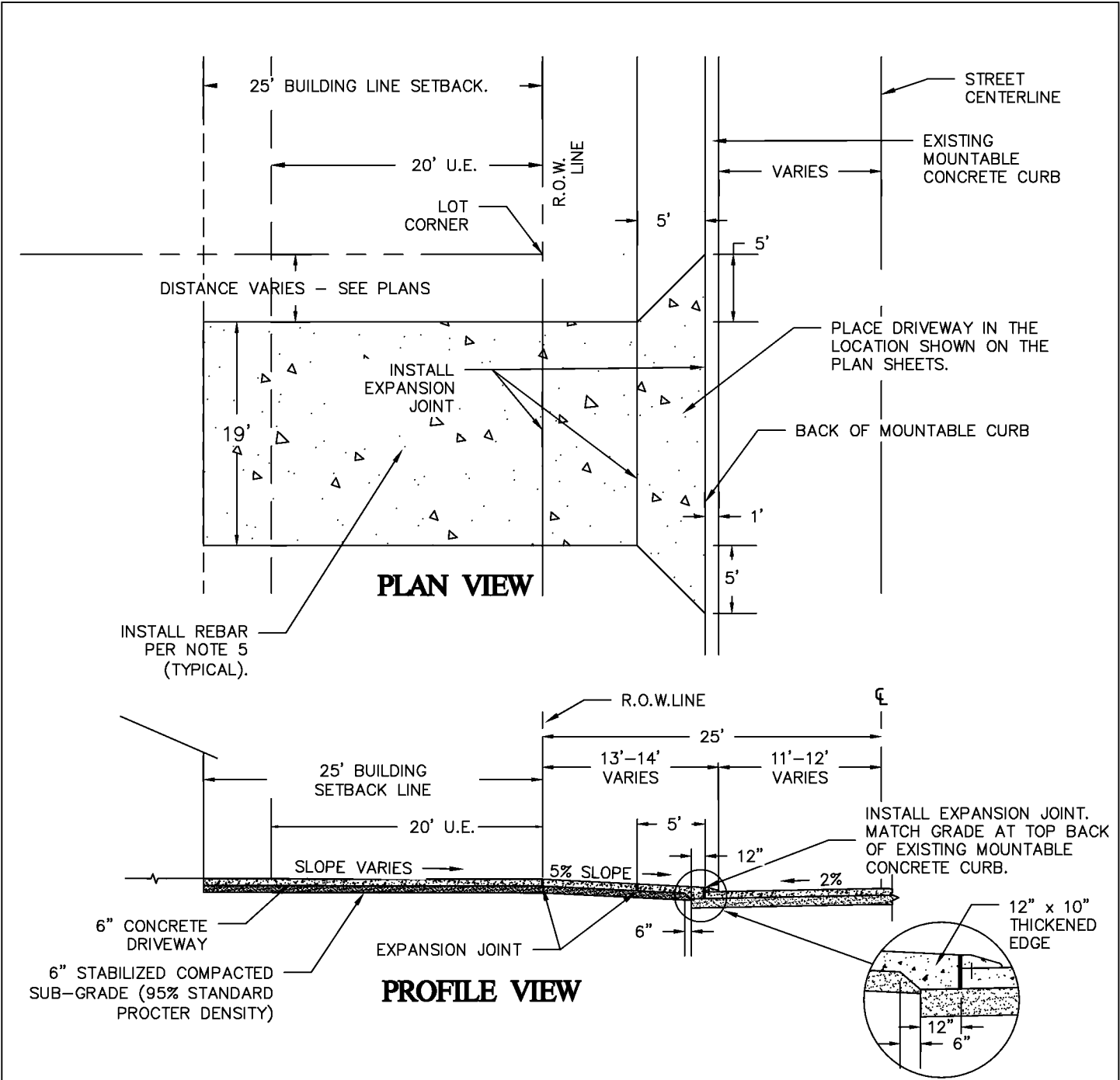


PROFILE VIEW

NOTES:

1. DRIVEWAY CONSTRUCTION SHALL BE DONE BY INDIVIDUAL PARCEL OWNERS.
2. DRIVEWAYS SHALL BE 6" THICK FOR SINGLE FAMILY.
3. DRIVEWAYS AND SIDEWALKS SHALL BE CONSTRUCTED WITH PORTLAND CEMENT CONCRETE AND INCLUDE 5 1/2 SACKS OF CEMENT PER CUBIC YARD OF CONCRETE.
4. CEMENT STABILIZED SAND SHALL CONTAIN 1.5 SACKS OF CEMENT PER TON OF DRY SAND.
5. DRIVEWAY REINFORCING STEEL - INSTALL #4 REBAR @ 24" O.C. BOTH WAYS, MINIMUM LAP LENGTH = 22", 2" MINIMUM CLEARANCE FROM CONCRETE SURFACE.
6. EXPANSION JOINT SHALL BE 3/4" BOARD OR 1/2" NON-EXTRUDING PREFORMED JOINT.

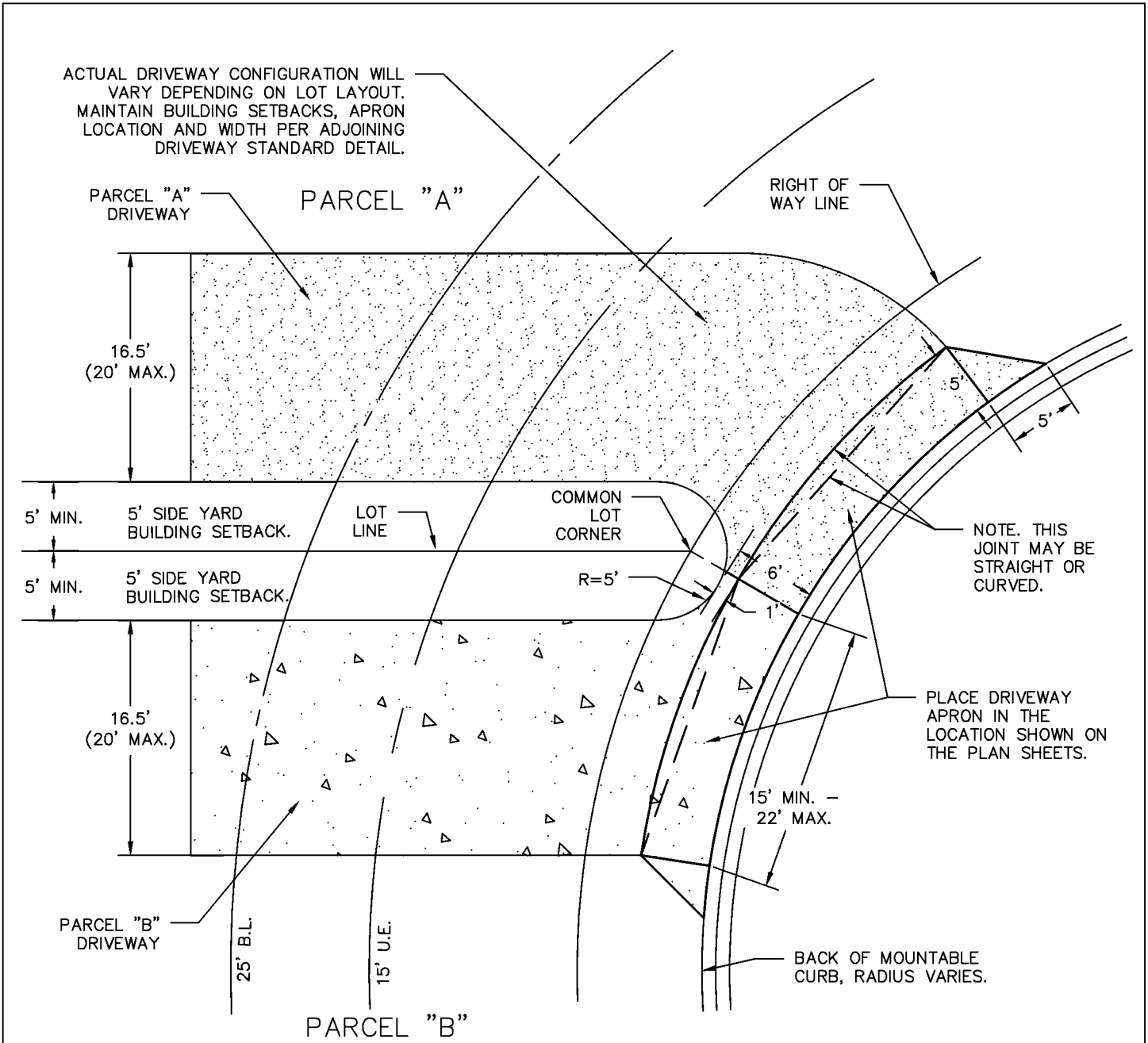
 COLONY RIDGE	STREET DETAIL ADJOINING RESIDENTIAL DRIVEWAY N.T.S.	8/9/23 CR-DW5
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NOTES:

1. DRIVEWAY CONSTRUCTION SHALL BE DONE BY INDIVIDUAL PARCEL OWNERS.
2. DRIVEWAYS SHALL BE 6" THICK FOR SINGLE FAMILY.
3. DRIVEWAYS AND SIDEWALKS SHALL BE CONSTRUCTED WITH PORTLAND CEMENT CONCRETE AND INCLUDE 5 1/2 SACKS OF CEMENT PER CUBIC YARD OF CONCRETE.
4. CEMENT STABILIZED SAND SHALL CONTAIN 1.5 SACKS OF CEMENT PER TON OF DRY SAND.
5. DRIVEWAY REINFORCING STEEL - INSTALL #4 REBAR @ 24" O.C. BOTH WAYS, MINIMUM LAP LENGTH = 22", 2" MINIMUM CLEARANCE FROM CONCRETE SURFACE.
6. EXPANSION JOINT SHALL BE 3/4" BOARD OR 1/2" NON-EXTRUDING PREFORMED JOINT.

 COLONY RIDGE	STREET DETAIL SINGLE RESIDENTIAL DRIVEWAY N.T.S.	8/9/23
		CR-DW6



NOTES:

1. DRIVEWAY CONSTRUCTION SHALL BE DONE BY INDIVIDUAL PARCEL OWNERS.
2. DRIVEWAYS SHALL BE 6" THICK FOR SINGLE FAMILY.
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5. DRIVEWAY REINFORCING STEEL - INSTALL #4 REBAR @ 24" O.C. BOTH WAYS, MINIMUM LAP LENGTH = 22", 2" MINIMUM CLEARANCE FROM CONCRETE SURFACE.
6. EXPANSION JOINT SHALL BE 3/4" BOARD OR 1/2" NON-EXTRUDING PREFORMED JOINT.
7. DRIVEWAY CONFIGURATION WILL VARY DEPENDING ON THE PROPERTY ALIGNMENT AND OTHER FACTORS. CONFIGURATION SHALL BE IN GENERAL CONFORMANCE WITH DETAIL FOR STANDARD DETAIL "ADJOINING RESIDENTIAL DRIVEWAY".
8. SEE DETAIL "ADJOINING RESIDENTIAL DRIVEWAY FOR PROFILE VIEW".



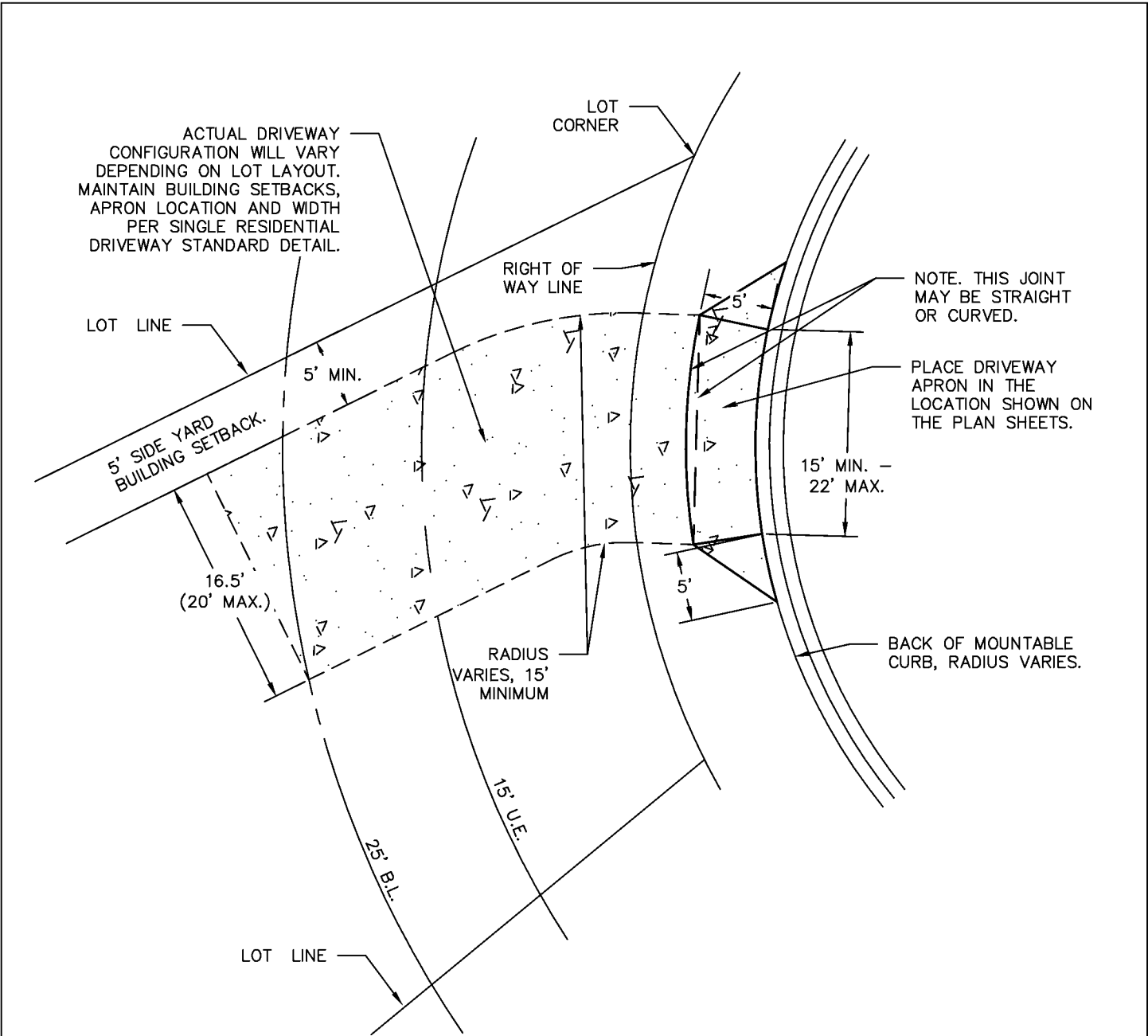
COLONY RIDGE

**STREET DETAIL
ADJOINING RESIDENTIAL
DRIVEWAY ON CURVE**

N.T.S.

10/3/23

CR-DW7



NOTES:

1. DRIVEWAY CONSTRUCTION SHALL BE DONE BY INDIVIDUAL PARCEL OWNERS.
2. DRIVEWAYS SHALL BE 6" THICK FOR SINGLE FAMILY.
3. DRIVEWAYS AND SIDEWALKS SHALL BE CONSTRUCTED WITH PORTLAND CEMENT CONCRETE AND INCLUDE 5 1/2 SACKS OF CEMENT PER CUBIC YARD OF CONCRETE.
4. CEMENT STABILIZED SAND SHALL CONTAIN 1.5 SACKS OF CEMENT PER TON OF DRY SAND.
5. DRIVEWAY REINFORCING STEEL - INSTALL #4 REBAR @ 24" O.C. BOTH WAYS, MINIMUM LAP LENGTH = 22", 2" MINIMUM CLEARANCE FROM CONCRETE SURFACE.
6. EXPANSION JOINT SHALL BE 3/4" BOARD OR 1/2" NON-EXTRUDING PREFORMED JOINT.
7. DRIVEWAY CONFIGURATION WILL VARY DEPENDING ON THE PROPERTY ALIGNMENT AND OTHER FACTORS. CONFIGURATION SHALL BE IN GENERAL CONFORMANCE WITH STANDARD DETAIL "SINGLE RESIDENTIAL DRIVEWAY".
8. SEE DETAIL "SINGLE RESIDENTIAL DRIVEWAY FOR PROFILE VIEW".



**STREET DETAIL
SINGLE RESIDENTIAL
DRIVEWAY ON CURVE**

N.T.S.

10/3/23
CR-DW8

**THE STATE OF TEXAS
COUNTY OF LIBERTY**

I hereby certify that this instrument was FILED on the date and the time stamped hereon by me and was duly RECORDED in the Records of Liberty County, Texas.

2024007771 RESTR
03/07/2024 04:01:46 PM Total Fees: \$53.00



Lee Haidusek Chambers, County Clerk
Liberty County, Texas