

**First Designation of Lots Pursuant to  
Declaration of Covenants, Conditions, and  
Restrictions of Section 9-A of Santa Fe**

**NOTICE OF CONFIDENTIALITY RIGHTS: IF YOU ARE A NATURAL PERSON, YOU MAY REMOVE OR STRIKE ANY OR ALL OF THE FOLLOWING INFORMATION FROM ANY INSTRUMENT THAT TRANSFERS AN INTEREST IN REAL PROPERTY BEFORE IT IS FILED FOR RECORD IN THE PUBLIC RECORDS: YOUR SOCIAL SECURITY NUMBER OR YOUR DRIVER'S LICENSE NUMBER.**

**Date:**   march 31  , 2021.

**Declarant:** Colony Ridge Development, LLC, a Texas limited liability company  
P.O. Box 279  
Fresno, Texas 77545

**Association:** Houston El Norte Property Owners Association, Inc.,  
a Texas nonprofit corporation  
P.O. Box 1920  
Conroe, Texas 77305

**The Restrictive Covenants to be amended are described in the following documents:**

1. a Declaration of Covenants, Conditions and Restrictions of Section 9-A of Santa Fe Subdivision, filed for record under Clerk's File No. 2021012052 of the Official Public Records of Liberty County, Texas (documents referenced in paragraph 1 together hereafter referred as the "Prior Declarations").

**Property:** Santa Fe, Section 9-A, according to the map or plat thereof, recorded under Clerk's File No. 2021012050, of the Official Public Records of Liberty County, Texas, which is a subdivision of 267.776 acres of land, being located in the Ann Holshousen Survey, Abstract No. 208, the H. & T.C. RR. CO. Survey, Abstract No. 230, and the David Rankin Survey, Abstract No. 333, being 146.602 acres out of the remainder of a 5,793.857 acre tract as recorded under Clerk' File No. 2018-010778, Official Public Records of Liberty County, Texas and 121.174 acres out of a 3,126.843 acre tract as recorded under Clerk's File No. 2018-017703, Official Public Records of Liberty County, Texas.

**Recitals**

WHEREAS, this First Designation of Lots Pursuant to Declaration of Covenants, Conditions and Restrictions of Section 9-A of Santa Fe Subdivision is made on the date

hereinafter set forth by the Declarant in compliance with all voting requirements of Prior Declaration and Texas law;

WHEREAS, Pursuant to Section D (4) of the Prior Declarations, Declarant may unilaterally designate certain lots as Mobile Home Lots or Non Mobile Home Lots. The Declarant desires to supplement the Prior Declarations as more particularly set forth below.

WHEREAS, this Designation is executed pursuant to and in compliance with the requirements of the Prior Declaration;

WHEREAS, the Declarant desires to designate lots pursuant to the Prior Declaration as Non Mobile Home Lots.

**Amendment**

The following lots are designated as follows:

1. The following lots are hereby designated as Non Mobile Home Lots:
  - a. Lots 9089-9129, Block 179,
  - b. Lots 9130 and 9131, Block 180,
  - c. Lots 9188 and 9189, Block 180,
  - d. Lots 9190 and 9191, Block 181,
  - e. Lots 9241 and 9242, Block 181,
  - f. Lots 9243 and 9244, Block 182,
  - g. Lots 9323-9332, Block 182,
  - h. Lots 9333 and 9334, Block 183
  - i. Lots 9410 and 9411, Block 183,
  - j. Lot 9550, Block 186,
  - k. Lots 9565-9569, Block 186,
  - l. Lots 9570 and 9571, Block 187,
  - m. Lots 9609 and 9610, Block 187,
  - n. Lots 9611 and 9612, Block 188,
  - o. Lots 9658 and 9659, Block 188,
  - p. Lots 9660 and 9661, Block 189,
  - q. Lots 9704 and 9705, Block 189,
  - r. Lots 9706 and 9707, Block 190,
  - s. Lots 9747 and 9748, Block 190, and
  - t. Lots 9749 and 9750, Block 191

all of SANTA FE, SECTION 9-A, according to the map or plat thereof, recorded under Clerk's File No. 2021012050, of the Official Public Records of Liberty County, Texas (being "Non Mobile Home Lots"); and

2. The above lots will be restricted as reflected in the Prior Declaration for lots designated as Non Mobile Home Lots.

Except as written in this Designation, the Prior Declaration is in all respects ratified and confirmed, and the Prior Declaration and this Designation shall be read and construed as one and the same instrument. All terms and conditions in the Prior Declaration which is not modified by this Designation shall remain in full force and effect and shall be interpreted to coincide with the terms and provisions of this Designation. In the event any terms or conditions in this Designation conflict with the terms and conditions of the Prior Declaration, the terms and conditions of this Designation shall prevail.

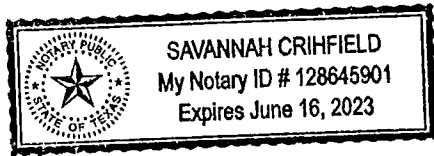
*(Signature contained on Page 4)*

DECLARANT:  
COLONY RIDGE DEVELOPMENT, LLC, a  
Texas limited liability company, by its Manager  
T-REX MANAGEMENT, INC., a Texas  
corporation

By: \_\_\_\_\_  
John Harris, President

THE STATE OF TEXAS            )  
  )  
COUNTY OF Montgomery    )

This instrument was acknowledged before me on the 31 day of  
March, 2021, by John Harris, President of T-REX MANAGEMENT, INC., a  
Texas corporation, as Manager of COLONY RIDGE DEVELOPMENT, LLC, a Texas limited  
liability company, on behalf of said company.



\_\_\_\_\_  
Notary Public in and for the  
State of Texas

**AFTER RECORDING RETURN TO:**  
Law Office of Beard & Lane, P.C.  
10611 Grant Road  
Houston, Texas 77070  
Tel: (281) 897-8848  
Email: [brent@beardlane.com](mailto:brent@beardlane.com)

**THE STATE OF TEXAS  
COUNTY OF LIBERTY**

I hereby certify that this instrument was FILED on the date and the time stamped hereon by me and was duly RECORDED in the Records of Liberty County, Texas.

2021013660 DECL  
04/06/2021 03:56:26 PM Total Fees: \$38.00



Lee Haidusek Chambers, County Clerk  
Liberty County, Texas